



July 4, 2024

City of Kelowna
Urban Planning Department
1435 Water Street, Kelowna BC
V1Y 1J4

Development Permit Application for MF1 – Infill Housing at 662 Birch Avenue, Kelowna BC

Introduction

Dear Planning Staff,

The purpose of this application is to secure a Form and Character Development Permit for the proposed four-dwelling housing project at 662 Birch Avenue. The property is zoned MF4, however the MF1 zone will be used because the building is less than 4 stories. We believe an MF1 project allows for sensitive infill in a neighbourhood which is yet to be redeveloped. The goal for this site is to create a project which is safe, livable, accessible, and establishes a sense of community for all new and existing residents of the Birch Avenue neighbourhood. Parking and garage access will be derived from the rear lane. The existing dwelling will be removed as part of this application.

Official Community Plan Objectives

In addition to many of the specific form and character guidelines from Sections 3.3.1 – 3.3.6, the project meets the following “Key Guidelines” for townhouse and infill projects in the 2040 OCP:

3.2.1 a - Configure building massing to reflect the general scale of buildings in the surrounding area (see 3.3.2).

3.2.1 b - For each unit, provide well-designed, generous outdoor amenity spaces at grade that offer privacy and screening, as well as attractive interfaces with the street and open spaces (see 3.3.1).

3.2.1 d - Limit impermeable surfaces in landscaped areas and open spaces to maximize stormwater infiltration.

3.2.1 e - Use building articulation, scaling, and setbacks to define individual units in a way that is clearly oriented to pedestrians rather than to vehicles and that emphasizes connection to the street (see 3.3.1).

3.2.1 f - Orient building entries, windows, patios and balconies to face the fronting and flanking streets, with primary entries clearly visible and directly accessible from the sidewalk see (3.3.1).

3.2.1 g - Building design elements, details and materials should create a well-proportioned and cohesive building design and exhibit an overall architectural concept (see 3.3.6).

In addition, this proposal conforms to the 2040 OCP – Future Land Use guidance of Core Area – Neighbourhood, as ground-oriented multi-unit residential is a supported use. The following pillars are met:

1. Stop planning new suburban neighbourhoods.
Creating sensitive infill within existing neighbourhoods reduces the desire for new suburban neighbourhoods to be planned. In turn, density is focused in areas with existing services and nearby transit, walking, and biking options.
2. Promote more housing diversity.
Infill housing allows for diverse housing options within the Core Area of Kelowna. Many tenants or property owners are searching for “missing middle” housing which provides appropriate parking, ground-oriented or rooftop outdoor space, and multiple bedrooms for growing families.
3. Protect and restore our environment.
To enhance the site, the landscape plan proposes that 2 trees will be planted in the landscape area, which will significantly improve soil and water consumption, carbon storage, provide shade, and improve air quality on the site. In addition to trees; an abundance of turf, shrubs, perennials, and ornamental grass plantings will be distributed around the site.
4. Prioritize sustainable transportation and shared mobility.
Birch Avenue is located between Richter Street and Pandosy Street which contain future frequent and frequent bus routes respectively. Additionally, the project is located just a block away from both the Abbott and Ethel Street Active Transportation Corridor for both walking and cycling, and both Richter and Pandosy Street are considered Transit Supportive Corridors. Therefore, residents of the subject property have the opportunity to access bike lanes or public transit within walking distance of their doorstep.

Site Layout

As shown on the attached drawing set, the proposed units are consolidated into 2 buildings. Units 1 through 4 are contained in the front building, with two units facing Birch Avenue and two units facing north towards the lane. The fifth unit is located above the garages for the first 4 units, and it too faces north, overlooking the lane. Both buildings are 3 storeys with a height of 9.54m to the mid-point of the roof. The proposal conforms to all setbacks and regulations under the MF1 zone, and parking for vehicles and bikes is located in a private garage for each unit. The fifth unit will have an outdoor carpark instead of an enclosed garage. Parking requirements are met as part of this application with 1 parking stall per unit, and an obstruction on either side.

Design Details

The form and character of the proposed buildings have been designed with a traditional façade, which incorporates quality materials and building articulation to create architectural interest in the neighbourhood. The proposed main exterior of the building will be finished with several materials such as horizontal cement-fibre siding, board and batten, and smart trim board. Each façade will contain projections which add value to the shape of each unit. Proposed colours are listed in the drawing set.

This colour strategy is intended to independently define each unit while promoting visual interest in a neighbourhood which is under developed with regards to MF4 zoning. The design of the proposed building aims to create a diversity of colours and materials while keeping existing features found in the neighbourhood. Vertical windows, horizontal siding, and a peaked roof are several design features which have been referenced from neighbouring properties and included as part of our proposed buildings.



Figure 1 – Front façade of proposed building.

Target Focus

The topic of infill housing has been at the forefront of discussion in recent months. Provincial mandates to increase housing density have been used as an attempt to combat the housing crisis in BC, using infill housing as a tool. Single family homes on large lots are becoming less desirable

due to the maintenance, repair costs, and purchase price. Condo units are great for some tenants, however many others will enjoy the opportunity to have a garage and a larger portion of private amenity space. Although the focus is catered towards the younger generation and young families, the proposed infill project will also provide a housing option for all ages to enjoy if desired; such as middle-aged couples, students, or retirees. In addition, the increase in available units will free-up older units which may be desired by home buyers who cannot afford a new build.

Landscaping and Private Amenity Space

As shown on the landscape plan, the site is designed with a variety of decorative shrubs, flowers, and water-permeable pavers. 3 trees will be planted to meet landscape area regulations and to improve environmental, social, and visual conditions on the site. All 3 trees will be medium-sized deciduous trees.

All units have sufficient private amenity space which is provided in the form of at-grade patios and balconies. Wooden fences are used to separate private open space between individual units. The Birch Avenue frontage has been sensitively designed to transition from public space to private space with the use of trees, shrubs, and flowers, which soften the transition from the City Boulevard to private front yards.

Conclusion

The intention of this proposal is to create infill development in an area of Kelowna which is very walkable, bikeable, and has access to nearby amenities. The property is close to the Pandosy Urban Centre which provides employment opportunities. This proposal is anticipated to provide missing-middle housing at a time where the local housing market has been identified as unaffordable and short of supply. The proposal will blend seamlessly into the existing form of the neighbourhood. We look forward to hearing your comments and feedback on the project.

Regards,

Urban Options Planning Corp.
by it's Authorized Signatory; Birte Decloux, RPP MCIP

662 BIRCH AVENUE MULTIFAMILY



PROJECT INFORMATION

LEGAL DISCRIPTION: PLAN KAP56521 LOT 2 DL 14 ODYD
CIVIC ADDRESS: 662 BIRCH AVENUE, KELOWNA, BC V1Y 5H1

CURRENT ZONING: MF4 - TRANSIT ORIENTED AREAS
PROPOSED ZONING: UC2 - TRANSIT ORIENTED AREAS
FUTURE LAND USE: C-NHD - CORE AREA NEIGHBOURHOOD

OWNER INFORMATION

SKA BUILDERS
PH 250.801.1685

CONTACT: DAVINDER BHULLAR
skabuilders@yahoo.com

CONSULTANT INFORMATION

URBAN PLANNING
URBAN OPTIONS PLANNING CORP.
#202-1470 ST. PAUL STREET
KELOWNA, BC V1Y 2E6
PH 250.575.6707

CONTACT: BIRTE DECLoux
birte@urbanoptions.ca

BUILDING DESIGN
IHS DESIGN
202-1470 ST. PAUL STREET
KELOWNA, BC V1Y 2E6
PH 250.212.7938

CONTACT: CHRIS VICKERY
chris@ihdesign.com

SURVEY
VECTOR GEOMATICS LAND SURVEYING LTD.
111-810 CLEMENT AVENUE
KELOWNA, BC V1Y 0J7
PH 250.868.0172

CONTACT: TYLER FOX
tyler.fox@vpls.ca

LANDSCAPE DESIGNER
MEGHAN NIMEGEERS LANDSCAPE DESIGN
PH 250.864.3873

CONTACT: MEGHAN NIMEGEERS
meghannimegeers@gmail.com

DRAWING LIST

ARCHITECTURAL DRAWING INDEX

DP0.0	COVER SHEET
DP1.0	SITE PLAN & ZONING CALCS.
DP1.1	SITE CONTEXT
DP1.2	SURVEY
DP2.0	MAIN FLOOR PLAN
DP2.1	SECOND FLOOR PLAN
DP2.2	THIRD FLOOR PLAN
DP3.0	BUILDING ONE ELEVATIONS
DP3.1	BUILDING ONE ELEVATIONS
DP3.2	BUILDING TWO ELEVATIONS
DP3.3	BUILDING TWO ELEVATIONS
DP3.4	STREET ELEVATION
DP4.0	BUILDING SECTION
DP5.0	RENDERINGS

LANDSCAPE DRAWING INDEX

L1.0	CONCEPTUAL LANDSCAPE PLAN
L2.0	WATER CONSERVATION/IRRIGATION PLAN

MF4 - TRANSIT ORIENTED AREAS

CITY OF KELOWNA ZONING BYLAW NO. 12375

SITE AREA	MINIMUM		PROPOSED	
	METRIC	IMPERIAL	METRIC	IMPERIAL
	350 sq m	3767.4ft ²	± 620.336 sq m	± 6677.24ft ²
SITE WIDTH	13.0m	42.7ft	± 16.99m	± 55.73 ft
SITE DEPTH	27.0m	88.6ft	± 36.48m	± 119.69 ft
SITE COVERAGE	MAXIMUM	PROPOSED	MAXIMUM	PROPOSED
	METRIC	IMPERIAL	METRIC	IMPERIAL
BUILDING 1 ONLY	55.0%	± 55.0%	341.2m ²	3672.5ft ²
BUILDING 2 ONLY				± 253.068 sq m
IMPERMEABLE SURFACES				± 88.15 sq m
TOTAL	75.0%	± 73.9%	465.3m ²	5007.9ft ²
				± 117.509 sq m
				± 1264.86ft ²
				± 458.727 sq m
				± 3988.86ft ²

DEVELOPMENT INFORMATION

GFA PER UNIT	LEVEL 1		LEVEL 2		LEVEL 3		TOTAL GFA	
	METRIC	IMPERIAL	METRIC	IMPERIAL	METRIC	IMPERIAL	METRIC	IMPERIAL
ANSI Z765-2003								
UNIT 1	± 63.325 sq m	± 681.62ft ²	± 61.646 sq m	± 663.56ft ²	± 36.28 sq m	± 390.51ft ²	± 161.251 sq m	± 1735.69ft ²
UNIT 2	± 63.325 sq m	± 681.62ft ²	± 61.646 sq m	± 663.56ft ²	± 36.28 sq m	± 390.51ft ²	± 161.251 sq m	± 1735.69ft ²
UNIT 3	± 63.325 sq m	± 681.62ft ²	± 61.646 sq m	± 663.56ft ²	± 36.28 sq m	± 390.51ft ²	± 161.251 sq m	± 1735.69ft ²
UNIT 4	± 63.325 sq m	± 681.62ft ²	± 61.646 sq m	± 663.56ft ²	± 36.28 sq m	± 390.51ft ²	± 161.251 sq m	± 1735.69ft ²
UNIT 5	± 12.534 sq m	± 134.92ft ²	± 96.874 sq m	± 1042.74ft ²	± 45.125 sq m	± 485.72ft ²	± 154.533 sq m	± 1663.38ft ²

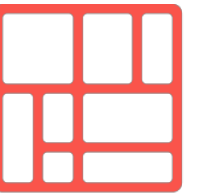
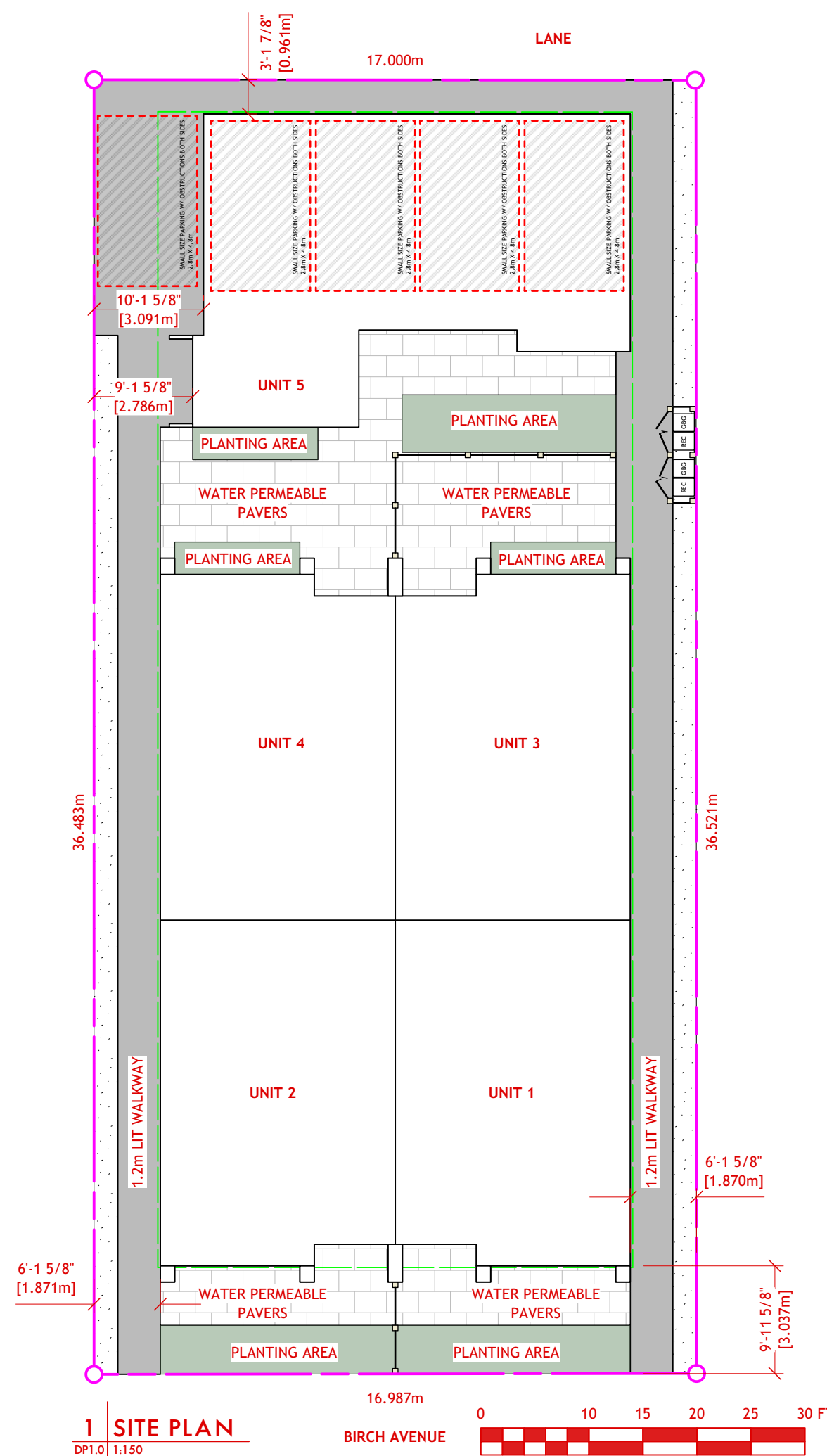
GFA OF 3rd FLOOR RELATIVE TO 2nd FLOOR	SECOND FLOOR		THIRD FLOOR		ALLOWED	PROPOSED
UNITS 1-4	± 61.646 sq m	± 663.56ft ²	± 36.28 sq m	± 390.51ft ²	75.0%	58.9%
UNIT 5	± 96.874 sq m	± 1042.74ft ²	± 45.125 sq m	± 485.72ft ²	75.0%	46.6%

BUILDING HEIGHT	MAXIMUM		PROPOSED		STOREYS	
	METRIC	IMPERIAL	METRIC	IMPERIAL	MAXIMUM	PROPOSED
	18.0m	59.1ft	± 9.54m	± 31.30 ft	4	3

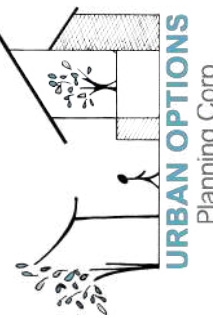
BUILDING SETBACKS (FROM PL)	REQUIRED		PROPOSED	
	METRIC	IMPERIAL	METRIC	IMPERIAL
	FRONT (SOUTH - BIRCH ROAD)	3.0m	9.8ft	± 3.04m
SIDE (EAST-INTERIOR)	1.8m	5.9ft	± 1.87m	± 6.14 ft
REAR (NORTH - LANE)	0.9m	3.0ft	± 0.96m	± 3.14 ft
SIDE (WEST INTERIOR)	1.8m	5.9ft	± 1.87m	± 6.14 ft
SEPARATION BETWEEN DETACHED PRINCIPAL BUILDINGS	2.0m	6.6ft	± 4.15m	± 13.62 ft

PARKING STALLS	REQUIRED	PROPOSED
	1 STALL PER UNIT (MINIMUM)	5
VISITOR STALLS	0	0
TOTAL	5	5
50% SMALL CAR PARKING STALLS	ALLOWED	PROPOSED
	5	5

BICYCLE PARKING - LONG TERM
ALLOWED FOR IN PRIVATE GARAGES OF TOWNHOMES



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MULTIFAMILY DEVELOPMENT
BIRCH TOWNHOMES
662 BIRCH AVENUE
KELOWNA, BC V1Y 5H1
LOT 2 PLAN KAP56521

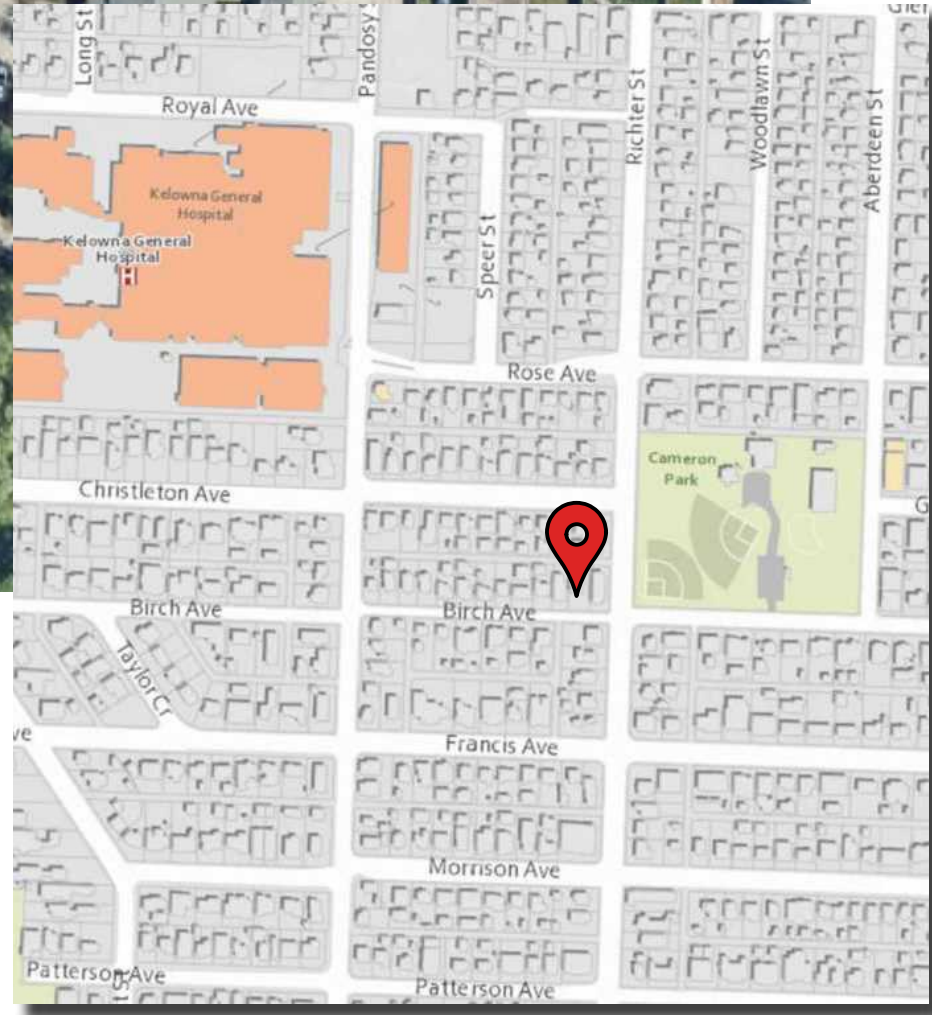
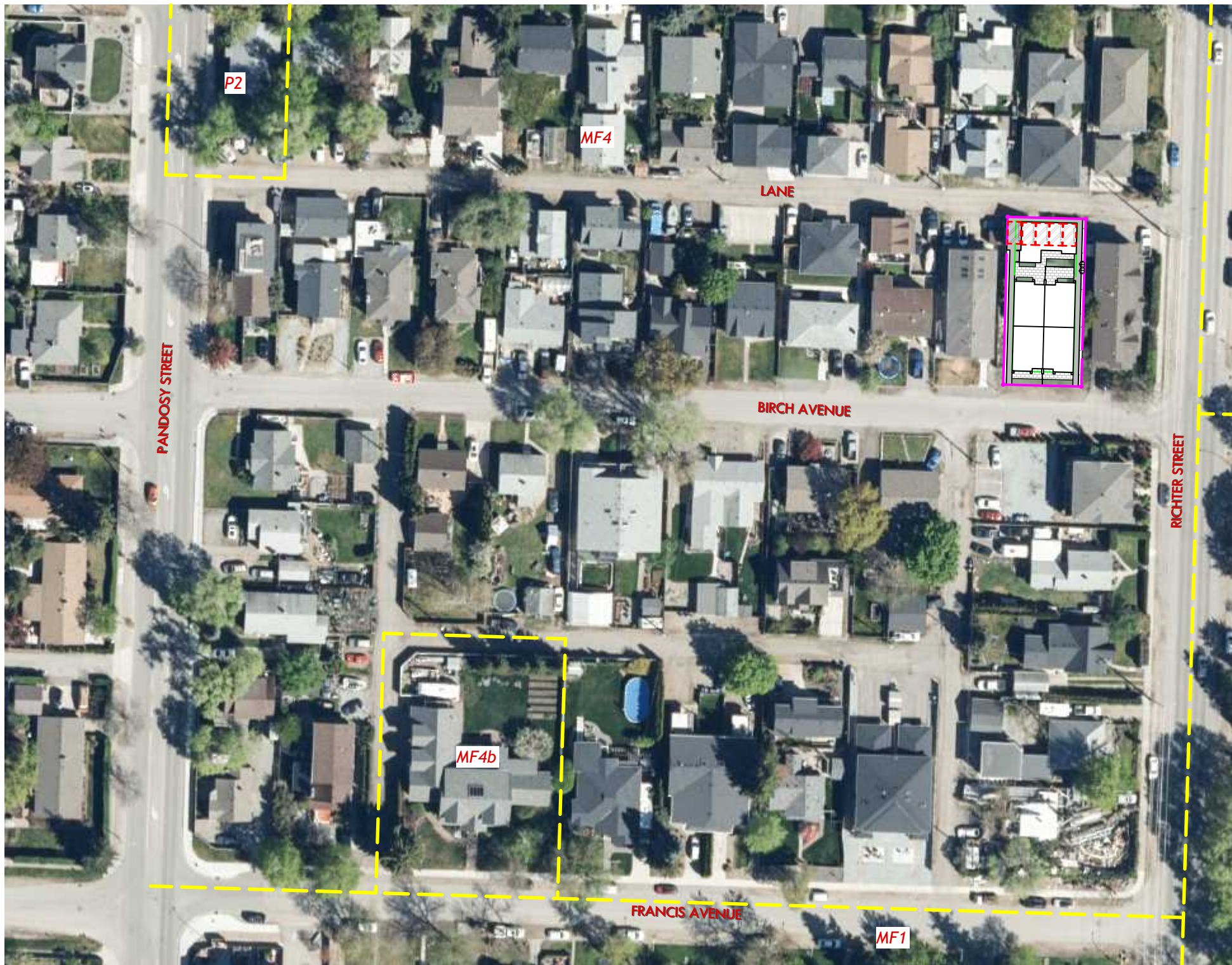
SITE PLAN & ZONING CALCULATIONS

DATE: 4-JUL-24

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ISSUED FOR: DEV. PERMIT

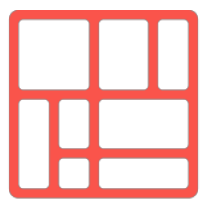
DP1.0

1 SITE PLAN
DP1.0 1:150



ZONING CONTEXT/NEIGHBOURHOOD DETAIL
1:1000

SITE CONTEXT
NTS



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SITE CONTEXT

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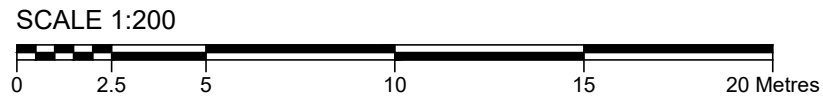
SITE PLAN OF LOT 2 DISTRICT LOT 14 OSOYOOS DIVISION YALE DISTRICT PLAN KAP56521

PID: 023-358-831
 CLIENT: SKA BUILDERS LTD.
 CIVIC ADDRESS: 662 BIRCH AVENUE, KELOWNA, BC

HORIZONTAL COORDINATE SYSTEM: UTM 11 NAD83(CSRS)
 VERTICAL DATUM: CGVD28 (DERIVED FROM CANNET
 ACTIVE CONTROL STATION BC_KELOWNA)

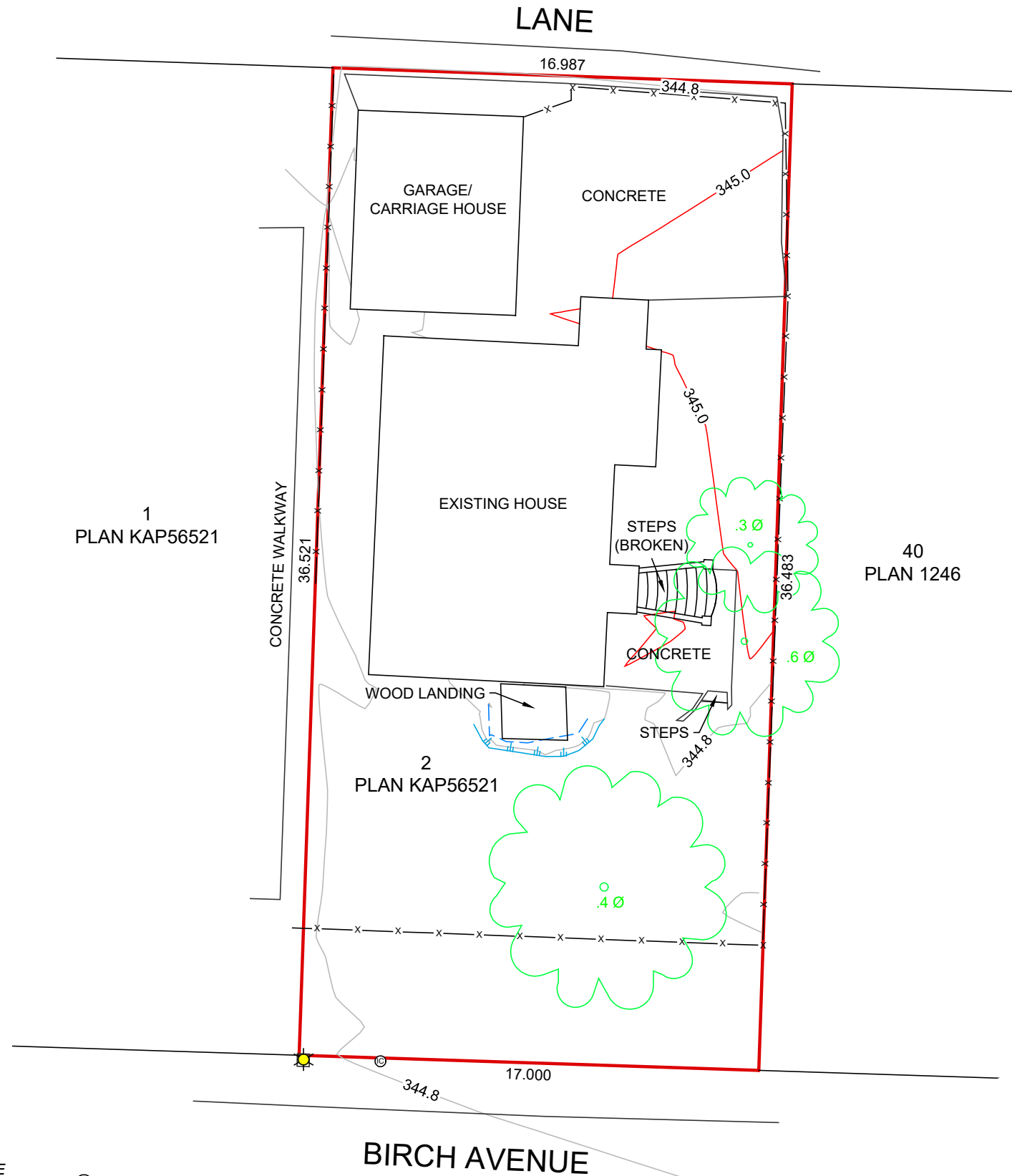
DATE OF FIELD SURVEY: MARCH 4, 2024

REFER TO THE CURRENT STATE OF TITLE FOR CHARGES,
 LIENS, AND INTERESTS AFFECTING THIS LAND.

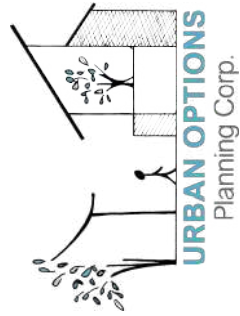


LEGEND

- Subject Property
- Major Contour (1.0m)
- Minor Contour (0.2m)
- Top Slope
- Bottom Slope
- Fence
- Cleanout
- Lamp Standard
- Sanitary Manhole
- Tree (dia.)
- Retaining Wall
- Asphalt



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MULTIFAMILY DEVELOPMENT
 BIRCH TOWNHOMES



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 KELOWNA, BC V1Y 5H1
 LOT 2 PLAN KAP56521

SURVEY

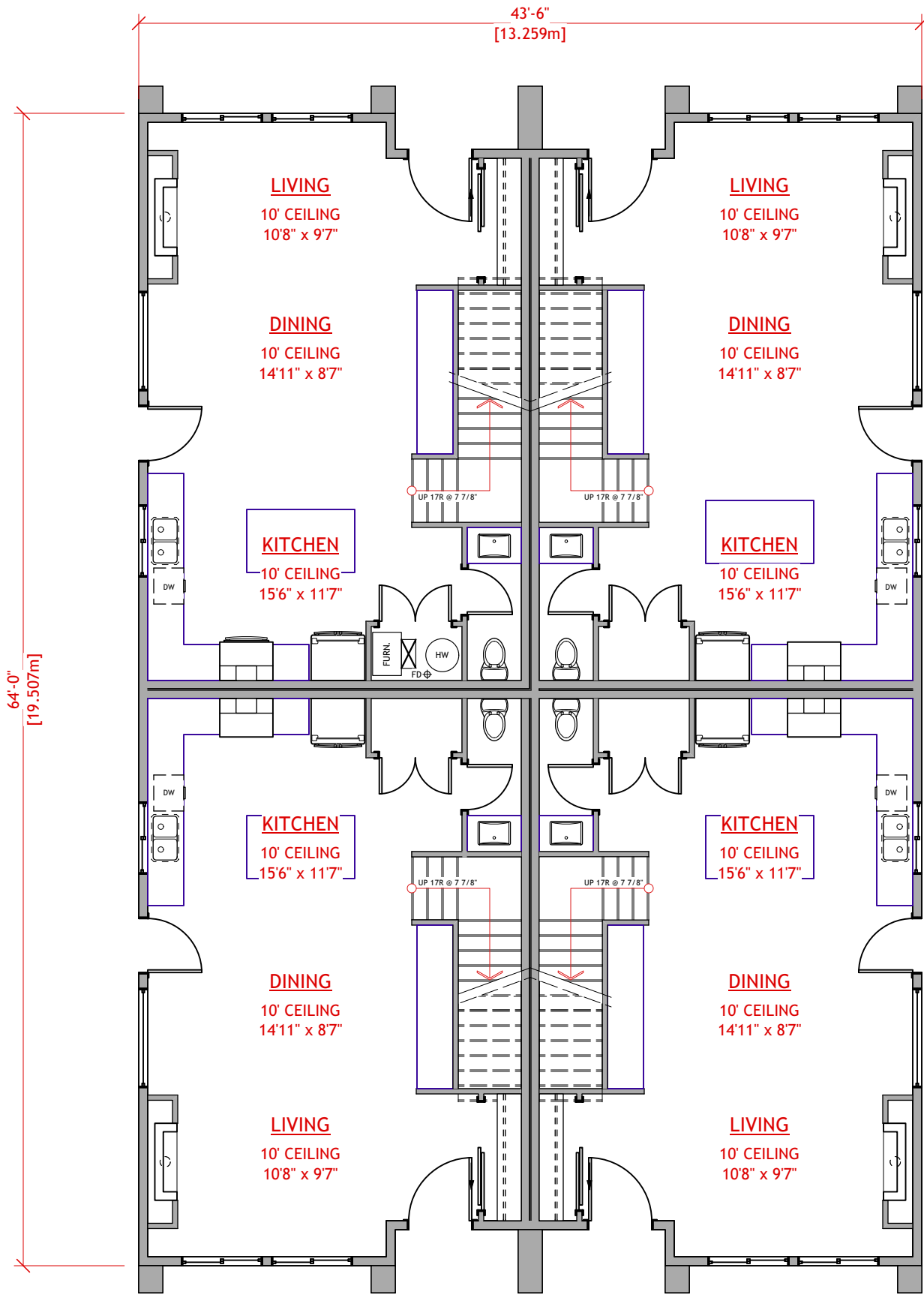
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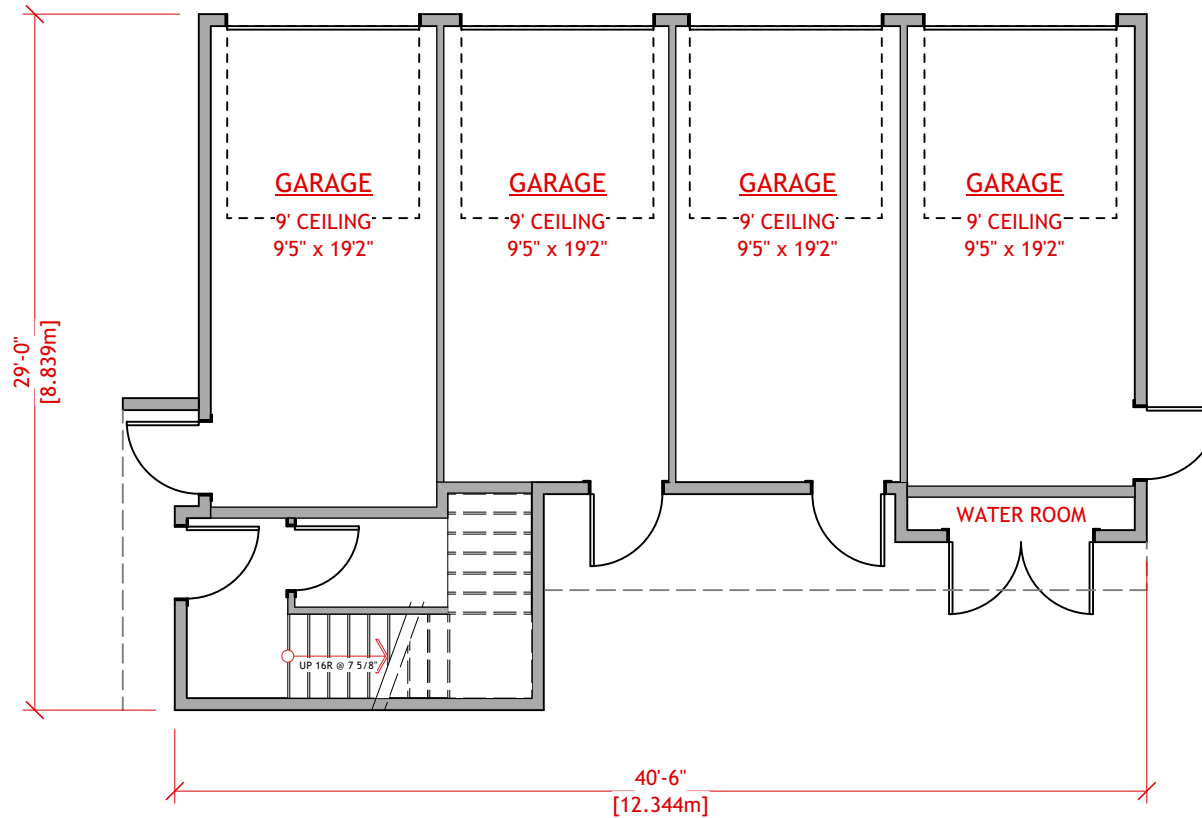
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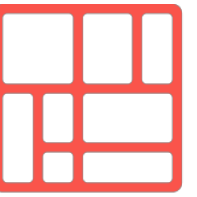
File: 2402097R0 Date: 2024-03-13
 Drafted by: CM Checked by: ACD



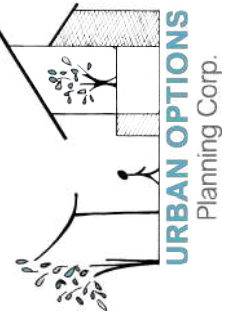
1 BUILDING 1
DP 2.1 | 1/8" = 1'-0"



2 BUILDING 2
DP 2.1 | 1/8" = 1'-0"



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BIRCH TOWNHOMES



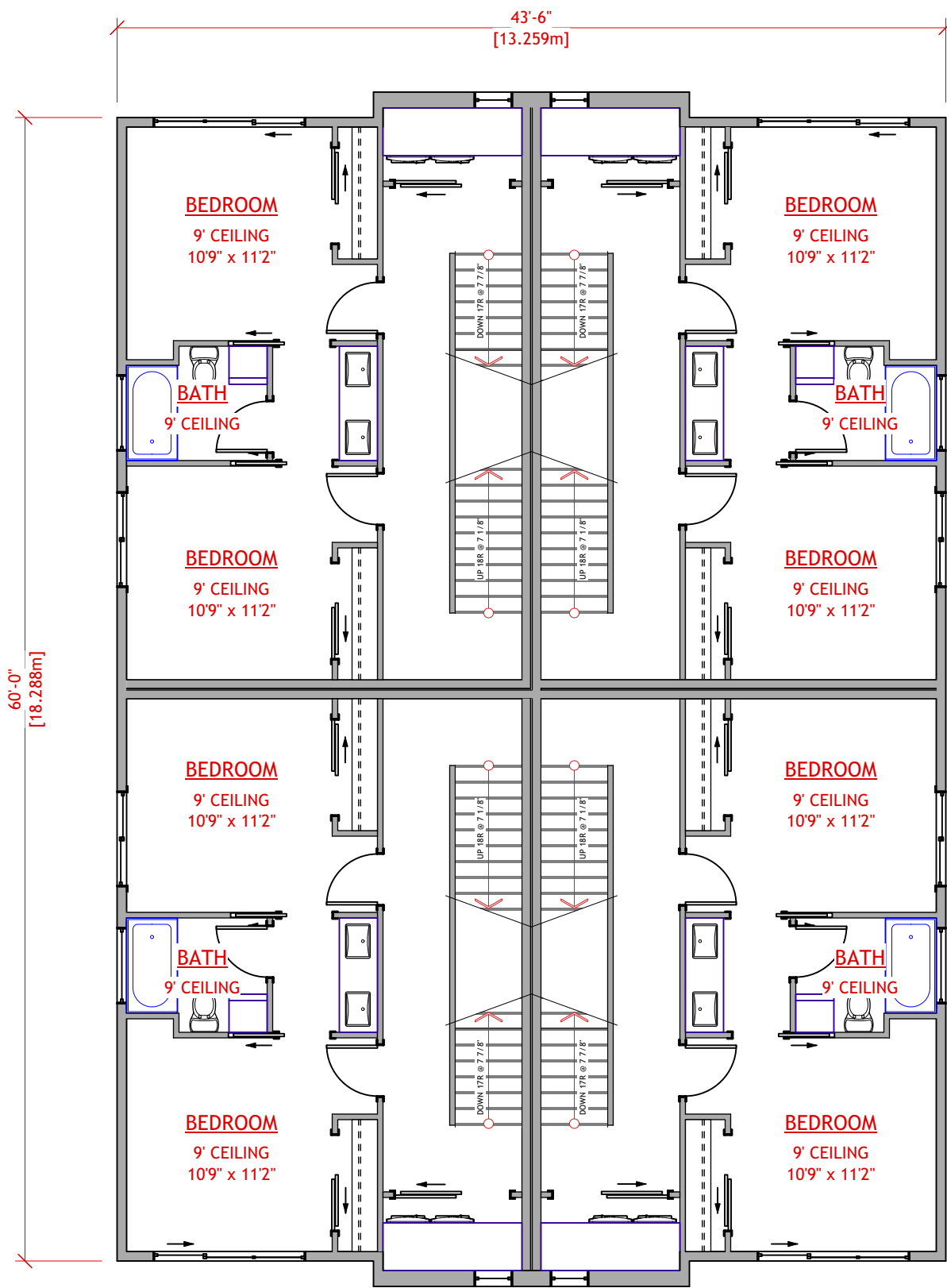
662 BIRCH AVENUE
KELOWNA, BC V1Y 5H1
LOT 2 PLAN KAP56521

MAIN FLOOR PLAN

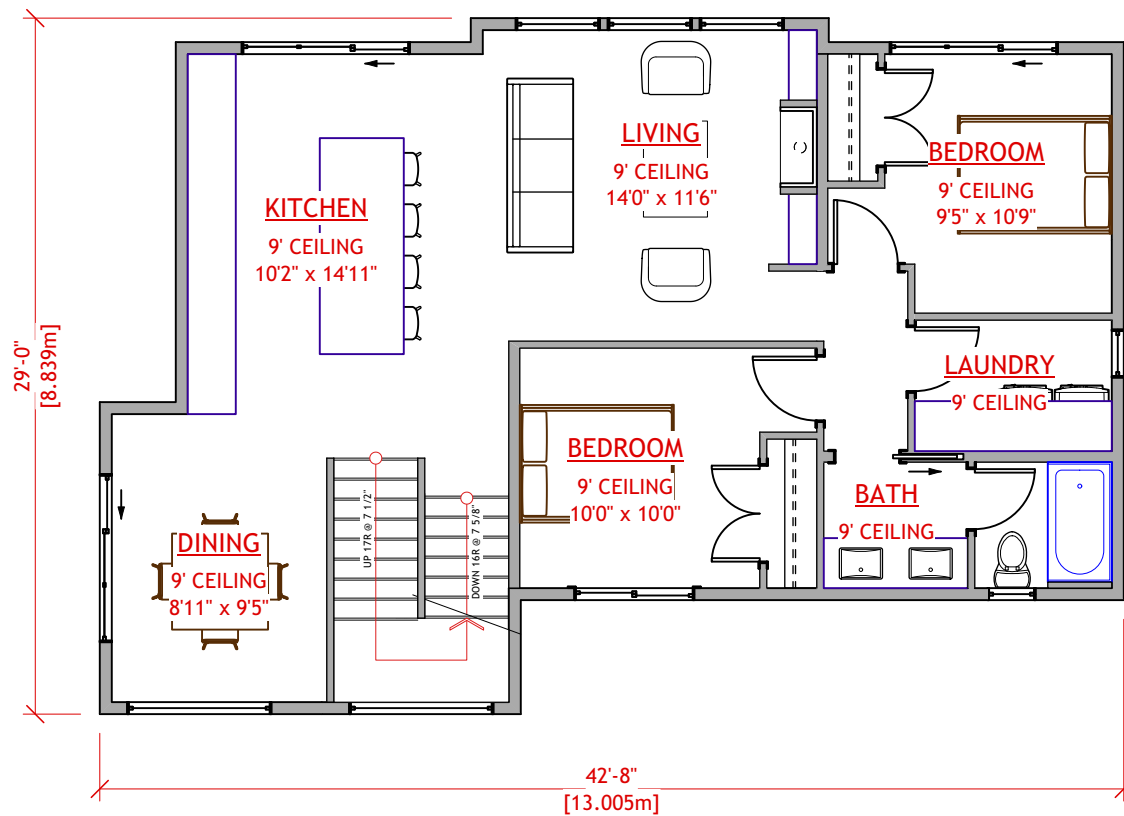
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ISSUED FOR: DEV. PERMIT

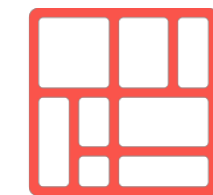
DP2.0



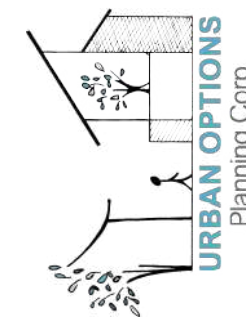
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2 BUILDING 2
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MULTIFAMILY DEVELOPMENT
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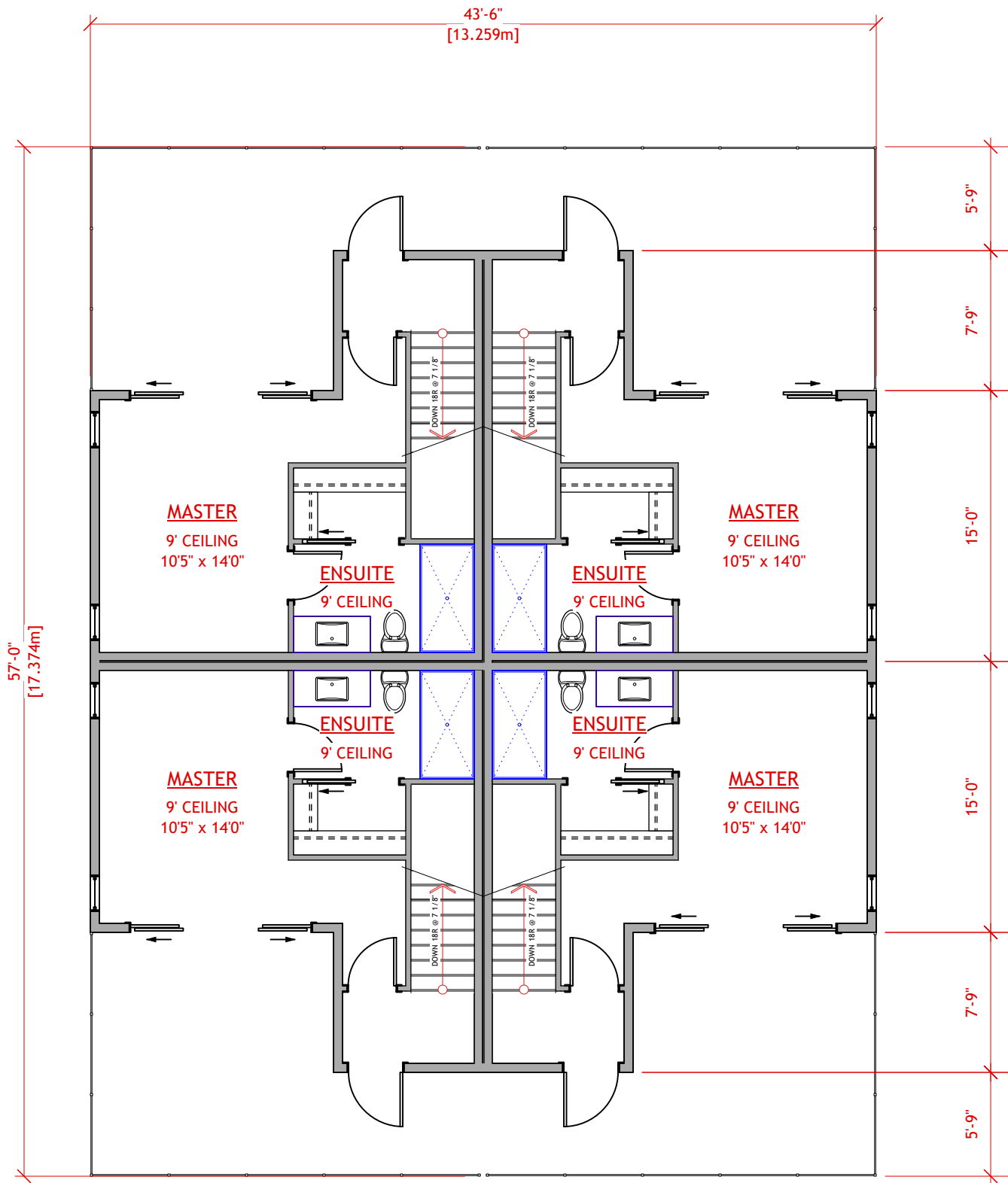
662 BIRCH AVENUE
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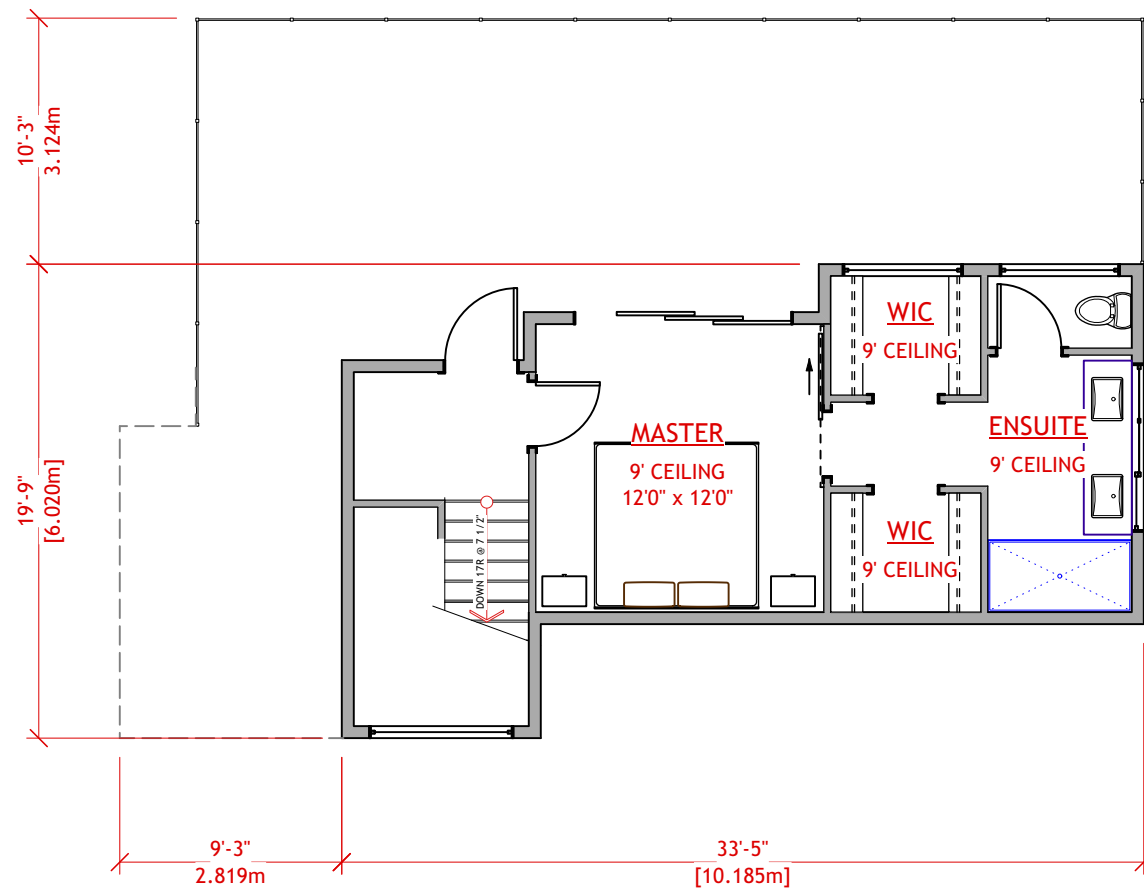
SECOND FLOOR PLAN

DATE: 4-JUL-24

SCALE: N/A
 ISSUED FOR: DEV. PERMIT



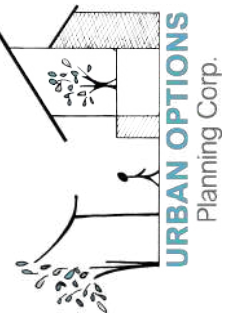
1 BUILDING 1
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2 BUILDING 2
DP 2.3 | 1/8" = 1'-0"



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MULTIFAMILY DEVELOPMENT
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LOT 2 PLAN KAP56521

THIRD FLOOR PLAN

DATE:
4-JUL-24

SCALE: N/A
ISSUED FOR: DEV. PERMIT

DP2.2

EXTERIOR MATERIALS

1. ACRYLIC STUCCO - BENJAMIN MOORE OC-152 SUPER WHITE
2. HORIZONTAL COMPOSITE SIDING - HARDIEPLANK LAP SIDING SELECT CEDARMILL IRON GRAY
3. HORIZONTAL COMPOSITE SIDING - WOODTONE RUSTIC SERIES LAP SIDING SUMMER WHEAT
4. TRIM - SMARTBOARD BENJAMIN MOORE 1631 MIDNIGHT OIL
5. FRONT DOOR - TRIMLITE FIBERGLASS FLUSH GLAZED 3-LITE BLACK
6. GARAGE DOOR - STEEL-CRAFT FLUSH CHARCOAL
7. ALUMINUM DECK RAIL - BLACK W/ FROSTED PRIVACY GLASS
8. ALUMINUM GUTTER/SOFFIT - BLACK
9. VINYL WINDOW FRAMES - BLACK (EXTERIOR)
10. VINYL DECKING - GREY WOOD GRAIN
11. ROOFING CAP SHEET - IKO COMMERCIAL CHARCOAL GREY
12. LAMINATE SHINGLES - IKO CAMBRIDGE DUAL BLACK

*OR EQUIVALENT

SOUTH (FRONT) ELEVATION



TOP OF ROOF
36'-6 5/8" [517.741m]

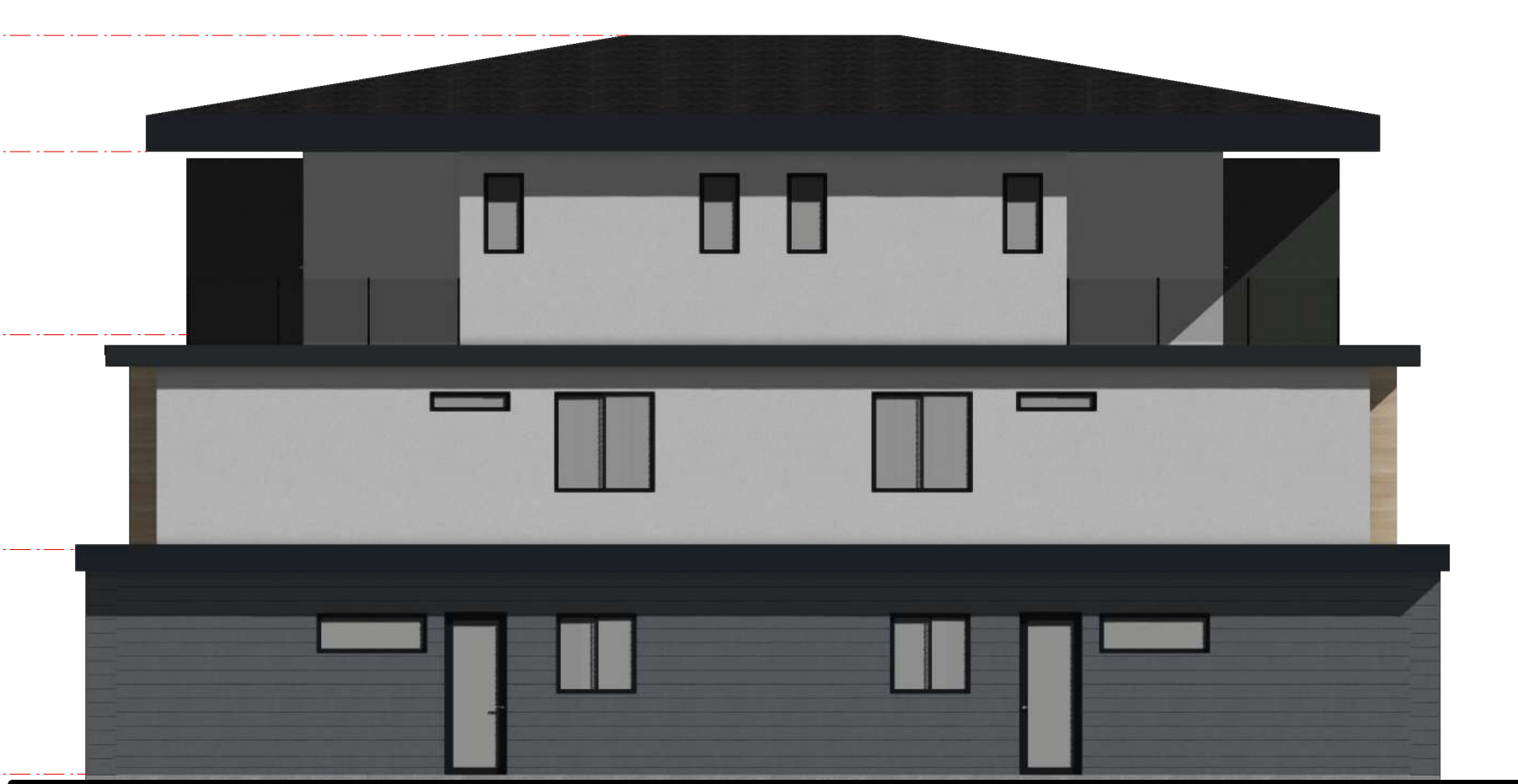
TOP OF THIRD FLOOR WALLS
30'-9 5/8" [515.988m]

TOP OF THIRD FLOOR
21'-8 7/8" [513.226m]

TOP OF SECOND FLOOR
11'-1 3/8" [509.988m]

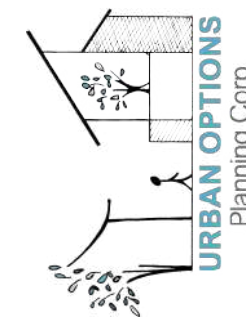
TOP OF MAIN FLOOR
0" [506.600m]

EAST (SIDE) ELEVATION



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MULTIFAMILY DEVELOPMENT
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LOT 2 PLAN KAP56521

BUILDING ONE ELEVATIONS

DATE: 4-Jul-24

SCALE: N/A
ISSUED FOR: DEV. PERMIT

DP3.0

EXTERIOR MATERIALS

1. ACRYLIC STUCCO - BENJAMIN MOORE OC-152 SUPER WHITE
2. HORIZONTAL COMPOSITE SIDING - HARDIEPLANK LAP SIDING SELECT CEDARMILL IRON GRAY
3. HORIZONTAL COMPOSITE SIDING - WOODTONE RUSTIC SERIES LAP SIDING SUMMER WHEAT
4. TRIM - SMARTBOARD BENJAMIN MOORE 1631 MIDNIGHT OIL
5. FRONT DOOR - TRIMLITE FIBERGLASS FLUSH GLAZED 3-LITE BLACK
6. GARAGE DOOR - STEEL-CRAFT FLUSH CHARCOAL
7. ALUMINUM DECK RAIL - BLACK W/ FROSTED PRIVACY GLASS
8. ALUMINUM GUTTER/SOFFIT - BLACK
9. VINYL WINDOW FRAMES - BLACK (EXTERIOR)
10. VINYL DECKING - GREY WOOD GRAIN
11. ROOFING CAP SHEET - IKO COMMERCIAL CHARCOAL GREY
12. LAMINATE SHINGLES - IKO CAMBRIDGE DUAL BLACK

*OR EQUIVALENT

NORTH (REAR) ELEVATION

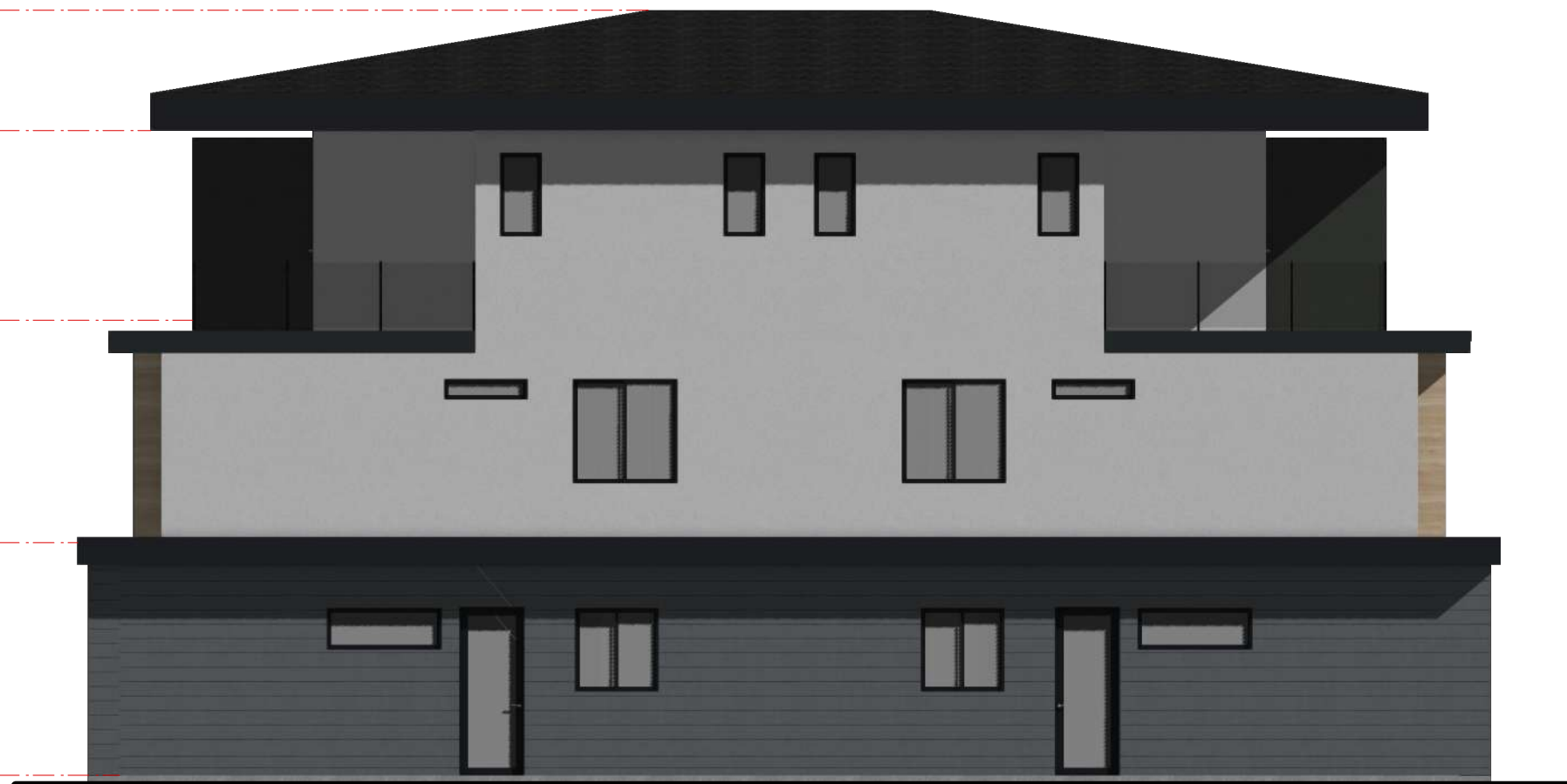
- TOP OF ROOF
36'-6 5/8" [517.741m]
- TOP OF THIRD FLOOR WALLS
30'-9 5/8" [515.988m]
- TOP OF THIRD FLOOR
21'-8 7/8" [513.226m]
- TOP OF SECOND FLOOR
11'-1 3/8" [509.988m]
- TOP OF MAIN FLOOR
0" [506.600m]



- TOP OF ROOF
36'-6 5/8" [517.741m]
- TOP OF THIRD FLOOR WALLS
30'-9 5/8" [515.988m]
- TOP OF THIRD FLOOR
21'-8 7/8" [513.226m]
- TOP OF SECOND FLOOR
11'-1 3/8" [509.988m]
- TOP OF MAIN FLOOR
0" [506.600m]

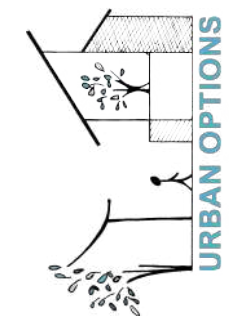
WEST (SIDE) ELEVATION

- TOP OF MAIN FLOOR
0" [506.600m]



IHS DESIGN

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MULTIFAMILY DEVELOPMENT
BIRCH TOWNHOMES



662 BIRCH AVENUE
KELOWNA, BC V1Y 5H1
LOT 2 PLAN KAP56521

BUILDING ONE ELEVATIONS

DATE: 4-Jul-24

SCALE: N/A
ISSUED FOR: DEV. PERMIT

DP3.1

EXTERIOR MATERIALS

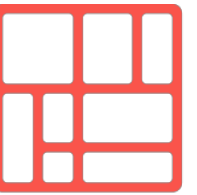
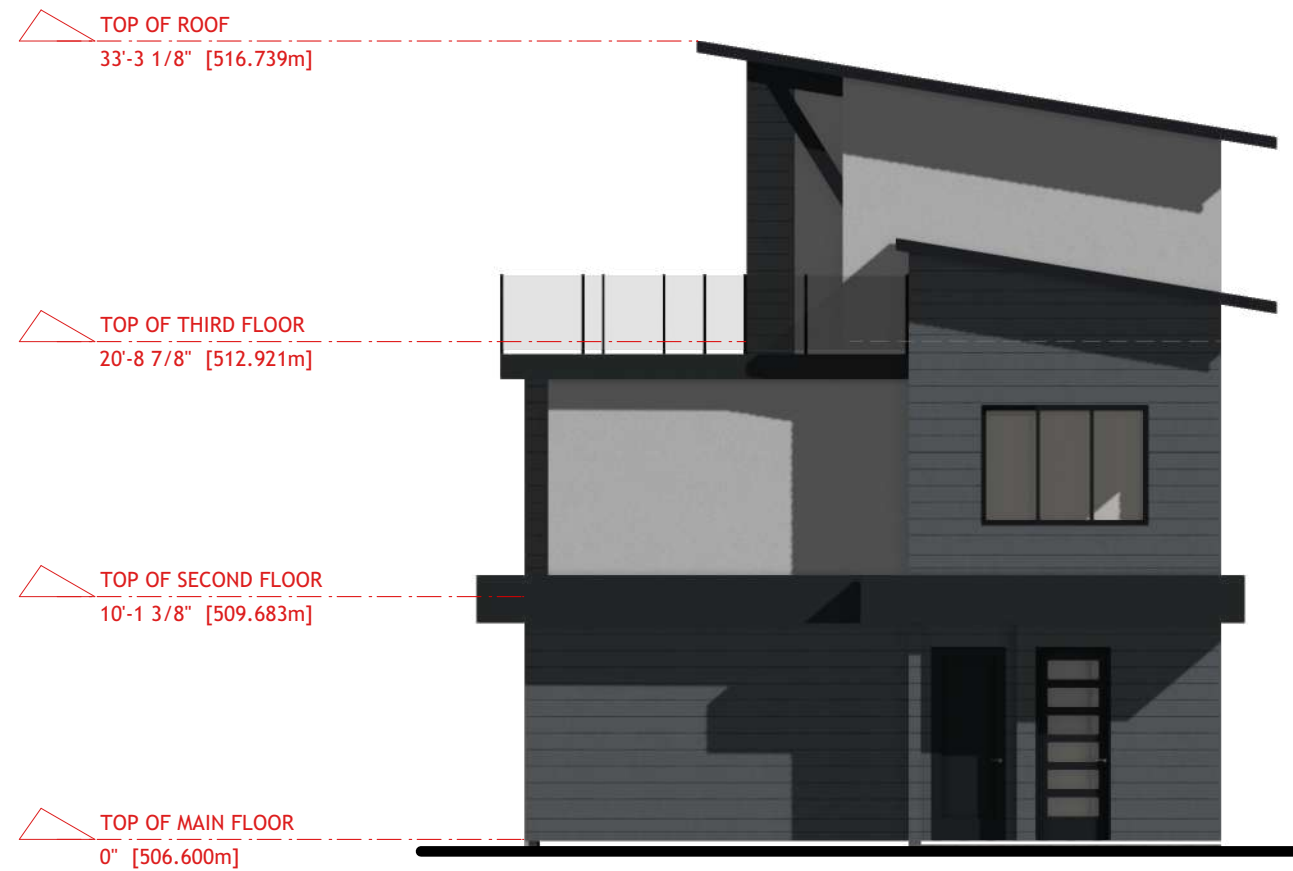
1. ACRYLIC STUCCO - BENJAMIN MOORE OC-152 SUPER WHITE
2. HORIZONTAL COMPOSITE SIDING - HARDIEPLANK LAP SIDING SELECT CEDARMILL IRON GRAY
3. HORIZONTAL COMPOSITE SIDING - WOODTONE RUSTIC SERIES LAP SIDING SUMMER WHEAT
4. TRIM - SMARTBOARD BENJAMIN MOORE 1631 MIDNIGHT OIL
5. FRONT DOOR - TRIMLITE FIBERGLASS FLUSH GLAZED 3-LITE BLACK
6. GARAGE DOOR - STEEL-CRAFT FLUSH CHARCOAL
7. ALUMINUM DECK RAIL - BLACK W/ FROSTED PRIVACY GLASS
8. ALUMINUM GUTTER/SOFFIT - BLACK
9. VINYL WINDOW FRAMES - BLACK (EXTERIOR)
10. VINYL DECKING - GREY WOOD GRAIN
11. ROOFING CAP SHEET - IKO COMMERCIAL CHARCOAL GREY
12. LAMINATE SHINGLES - IKO CAMBRIDGE DUAL BLACK

*OR EQUIVALENT

NORTH (FRONT) ELEVATION

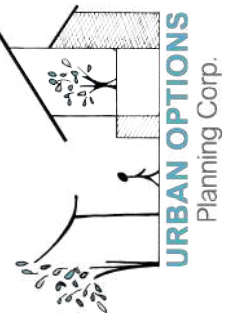


WEST (SIDE) ELEVATION



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MULTIFAMILY DEVELOPMENT
BIRCH TOWNHOMES



662 BIRCH AVENUE
KELOWNA, BC V1Y 5H1
LOT 2 PLAN KAP56521

BUILDING TWO ELEVATIONS

DATE: 4-Jul-24

SCALE: N/A
ISSUED FOR: DEV. PERMIT

EXTERIOR MATERIALS

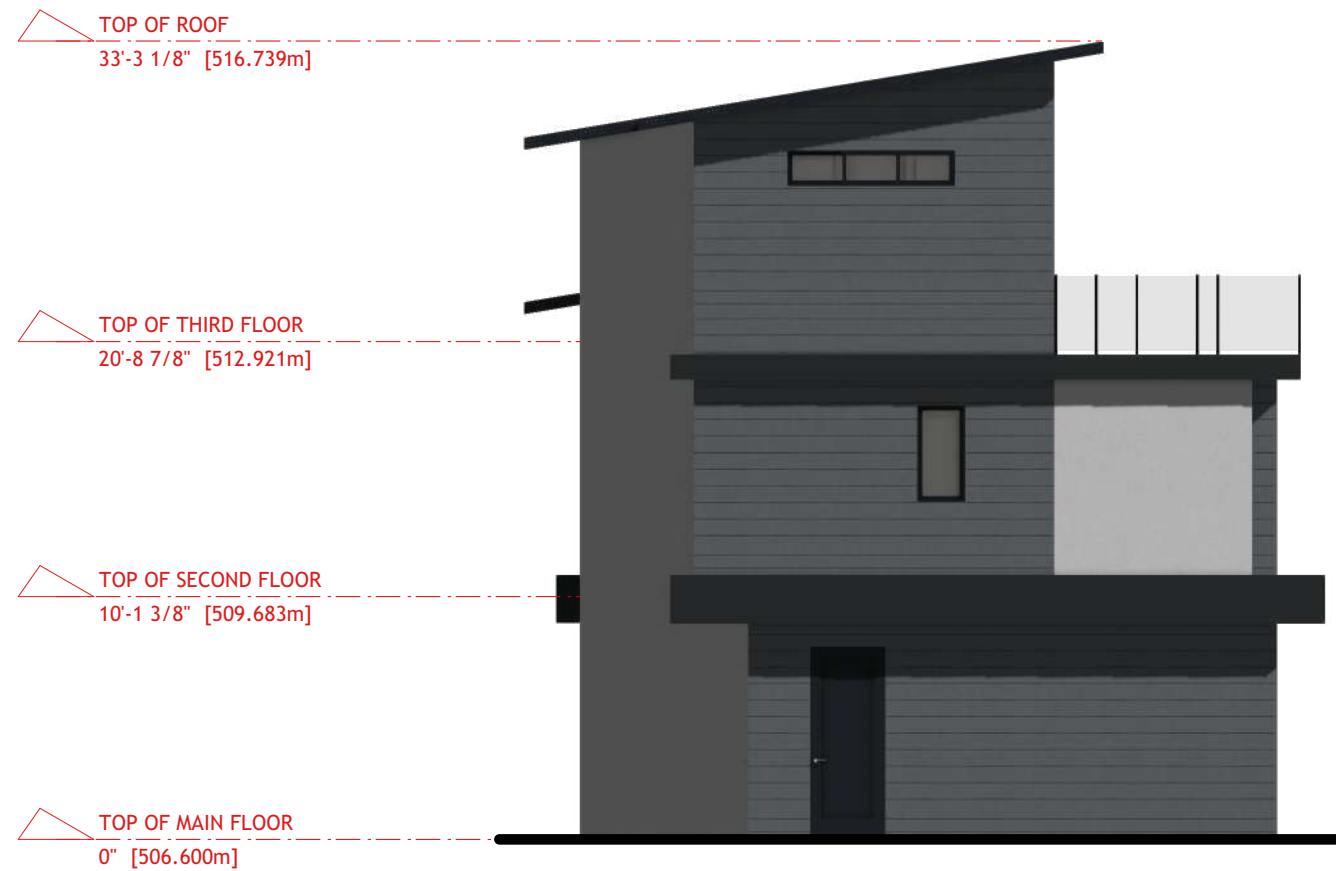
1. ACRYLIC STUCCO - BENJAMIN MOORE OC-152 SUPER WHITE
2. HORIZONTAL COMPOSITE SIDING - HARDIEPLANK LAP SIDING
SELECT CEDARMILL IRON GRAY
3. HORIZONTAL COMPOSITE SIDING - WOODTONE RUSTIC SERIES
LAP SIDING SUMMER WHEAT
4. TRIM - SMARTBOARD BENJAMIN MOORE 1631 MIDNIGHT OIL
5. FRONT DOOR - TRIMLITE FIBERGLASS FLUSH GLAZED 3-LITE BLACK
6. GARAGE DOOR - STEEL-CRAFT FLUSH CHARCOAL
7. ALUMINUM DECK RAIL - BLACK W/ FROSTED PRIVACY GLASS
8. ALUMINUM GUTTER/SOFFIT - BLACK
9. VINYL WINDOW FRAMES - BLACK (EXTERIOR)
10. VINYL DECKING - GREY WOOD GRAIN
11. ROOFING CAP SHEET - IKO COMMERCIAL CHARCOAL GREY
12. LAMINATE SHINGLES - IKO CAMBRIDGE DUAL BLACK

*OR EQUIVALENT

SOUTH (REAR) ELEVATION

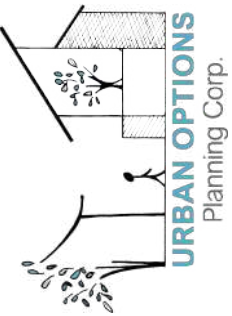


EAST (SIDE) ELEVATION



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MULTIFAMILY DEVELOPMENT
BIRCH TOWNHOMES



662 BIRCH AVENUE
KELOWNA, BC V1Y 5H1
LOT 2 PLAN KAP56521

BUILDING TWO
ELEVATIONS

DATE:
4-Jul-24

SCALE: N/A
ISSUED FOR: DEV. PERMIT

DP3.3



650 BIRCH AVENUE



662 BIRCH AVENUE



2386 RICHTER STREET



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MULTIFAMILY DEVELOPMENT

BIRCH TOWNHOMES

662 BIRCH AVENUE
KELOWNA, BC V1Y 5H1
LOT 2 PLAN KAP56521

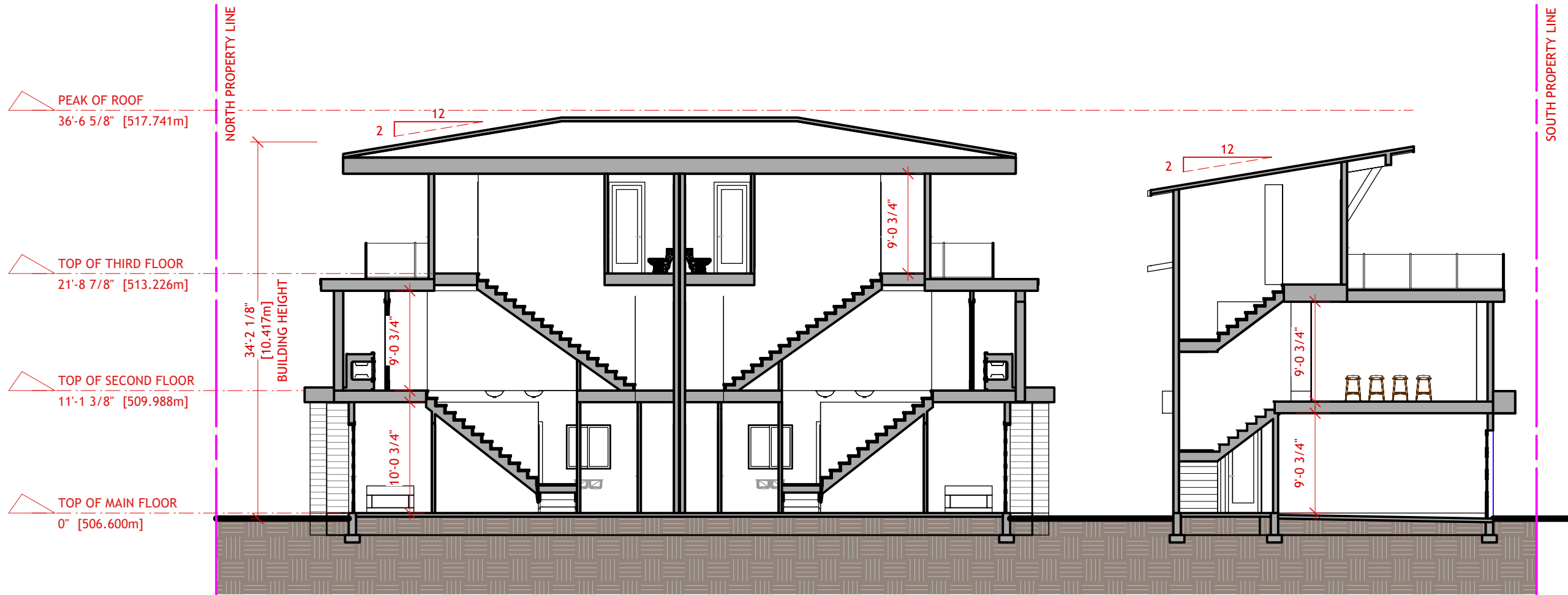


STREET ELEVATION

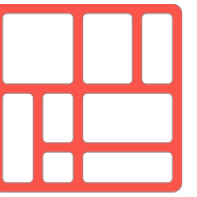
DATE: 4-Jul-24

SCALE: N/A
ISSUED FOR: DEV. PERMIT

DP3.4



1 | SITE SECTION
 DP4.0 | 3/32" = 1'-0"



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MULTIFAMILY DEVELOPMENT
 BIRCH TOWNHOMES



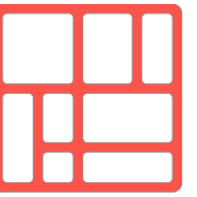
662 BIRCH AVENUE
 KELOWNA, BC V1Y 5H1
 LOT 2 PLAN KAP56521

BUILDING SECTIONS

DATE: 4-JUL-24

SCALE: N/A
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DP4.0



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MULTIFAMILY DEVELOPMENT



BIRCH TOWNHOMES

662 BIRCH AVENUE
KELOWNA, BC V1Y 5H1
LOT 2 PLAN KAP56521

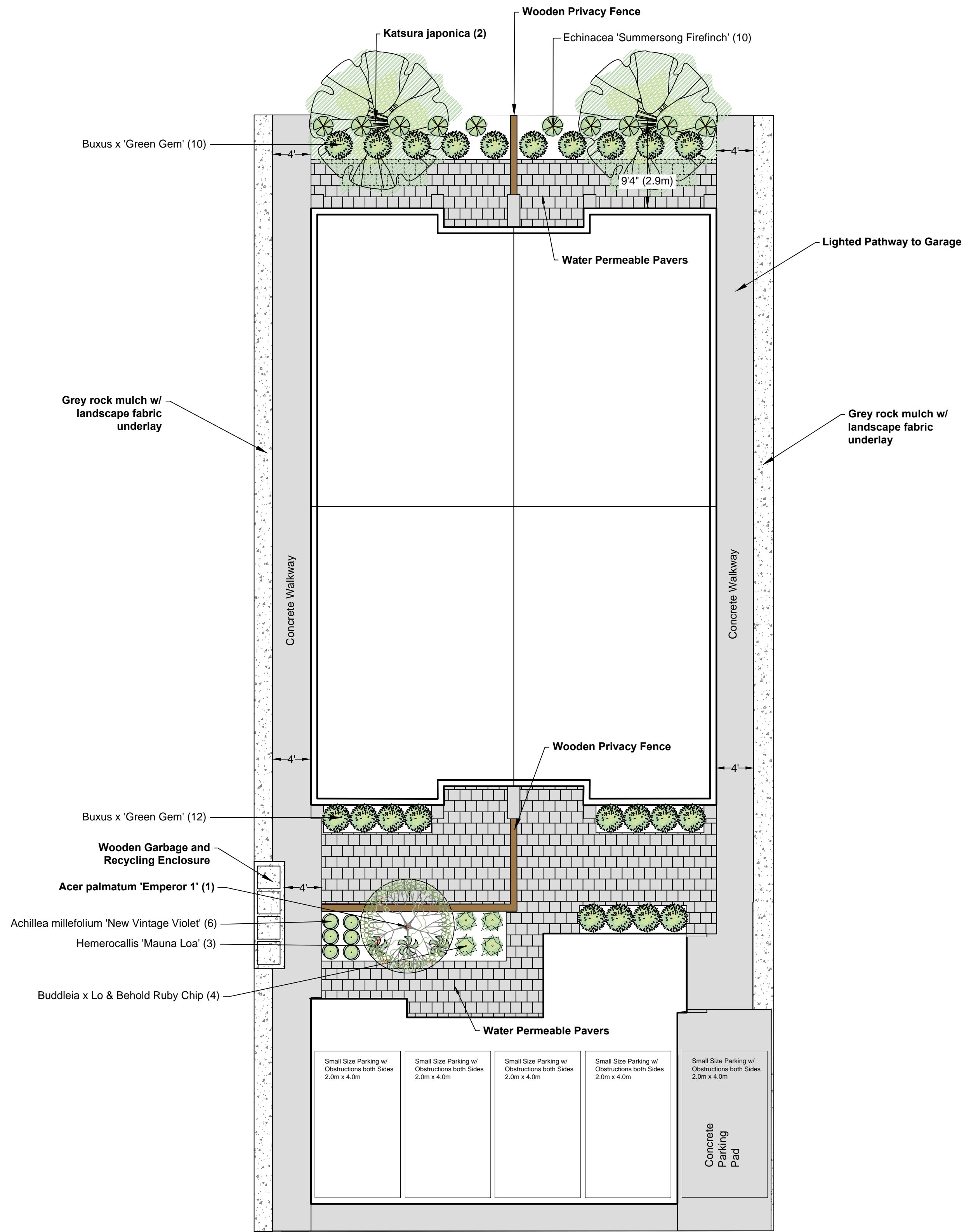
RENDERINGS

DATE: 4-JUL-24

SCALE: N/A
ISSUED FOR: DEV. PERMIT

DP5.0





Landscaping Standards (7.2)	Zone	Proposed
Min. tree amount	2	3
Min. deciduous tree caliper	5cm Lg 3cm Sm	5cm Lg 4cm Sm
Min. coniferous tree height	n/a	n/a
Min. ratio between tree size	50%	50%
Min. growing medium area	75% soil-based landscaping groundcover in landscape areas	
Min. growing medium volumes per tree	15m ³ sm 30m ³ Lg	15m ³ 30m ³
Landscape graded areas (7.2.7)	minimum 1:50 slope (2%) for cross slope for any landscape area	
Fence Height	1.2m Front and 2.0m Rear	1.2m and 2.0m
Riparian management area?	(y/n)	n/a
Retention of existing trees on site?	(y/n)	n/a
Surface parking lot (7.2.10)?	(y/n)	n/a
Refuse & recycling screened	(y/n)	Yes



Pavers - Water Permeable
Colour- Charcoal

Plant List

Qty	Botanical	Common	Size
TREES			
2	Katsura japonica	Katsura	5Cm Cal Min
1	Acer palmatum	Emperor 1 Japanese Maple	4cm Cal Min
SHRUBS			
22	Buxus x 'Green Gem'	Green Gem Boxwood	#2
PERENNIALS			
14	Hemerocallis 'Mauna Loa'	Mauna Loa Daylily	#1
4	Buddleia x Lo & Behold Ruby Chip	Lo & Behold Ruby Chip Butterfly Bush	#1
6	Achillea millefolium 'New Vintage Violet'	New Vintage Violet Yarrow	#1
10	Echinacea 'Summersong Firefinch'	'Summersong Firefinch' Coneflower	#1

Notes:

- Planting beds to be dressed with dark grey rock mulch.
- Site to be watered with a fully automated irrigation system.
- All structures to have positive drainage.
- All materials and methods to conform to Canadian Landscape Standard.
- Plant material to be locally sourced.